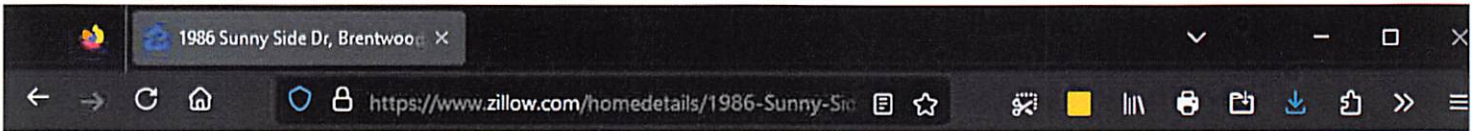




RETIREMENT/PROPERTY INVESTMENT VALUE APPRECIATION AS OF 5/31/2023
 Will Easily Reach \$1,000,000 VALUE within the Next Decade as Planned, while without Interfere
 It would have been completely PAID-OFF within that period, with less WORK than I'm doing NOW!
 CAPITAL GAINS TAX does NOT apply for a PRIMARY RESIDENCE, this would have been TAX FREE!



STATEMENT OF CLAIM

Sign in

[Edit](#) [Save](#) [Share](#) [More](#)



4 bd 3 ba 2,640 sqft

1986 Sunny Side Dr, Brentwood, TN 37027

● Off market Zestimate[®]: **\$884,500** Rent Zestimate[®]: **\$3,999**

Est. refi payment: \$5,237/mo [Refinance your loan](#)

[Home value](#) [Owner tools](#) [Home details](#) [Neighborhood details](#)

Home value



Zestimate

\$884,500



Zestimate range

\$814,000 - \$973,000



Last 30-day change

+ \$16,116 (+1.9%)



Zestimate per sqft

\$335

[Zestimate history & details](#)



PLAINTIFF'S
EXHIBIT
M

6:49 AM
5/31/2023

nt, the recovery will be subject to an estimated 37% Tax Rate, placing this at roughly a 1.5
 Property Loss & Claim. In addition to damages, incidental, consequential, compensatory, loss of
 s of use, loss of enjoyment, loss of life, liberty, property & the pursuit of happiness. Plus legal
 founding daily), litigious TORTURE of an ADA Party, since 9/3/2019, until a cure is obtained.

REDFIN 1-844-759-7732 Buy • Sell • Mortgage • Real Estate Agents • Find • Log In • Sign Up

Search Overview Real Estate Photos Facts Listing Details Sale & Tax History Schools Neighborhood Similar Homes

Favorite Photos Edit Facts

Is this your home?
Claim this home to track its value and nearby sales activity
I'm the owner

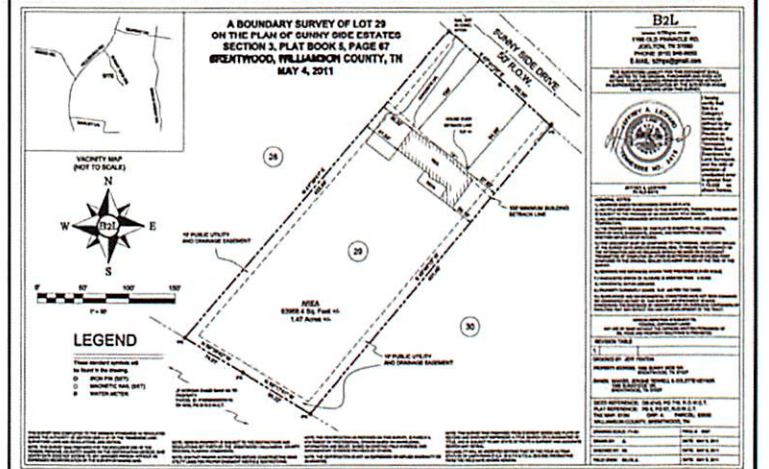
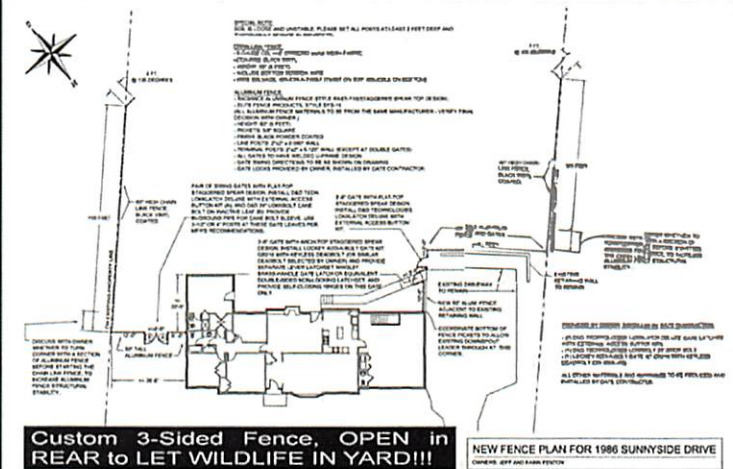
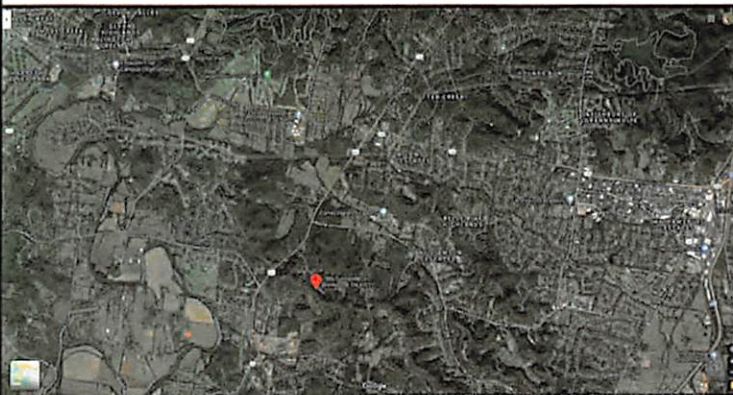
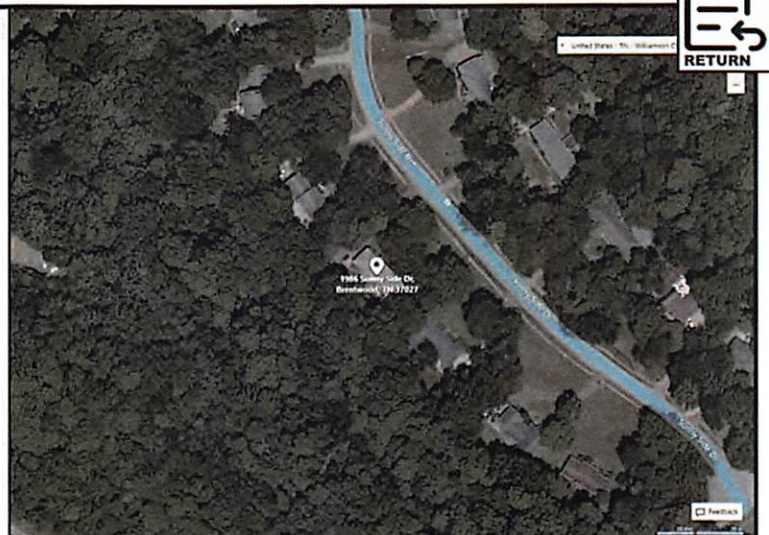
Get a local Redfin Agent's opinion on your home's value and the state of the Brentwood market.

\$566,000 - \$626,000

1986 Sunray Side Dr, Brentwood, TN 37027
\$595,494 4 2.5 2,640
Beds • Baths • Sq Ft

CHM Agent
This home last sold for \$540,000 on Feb 18, 2020.

LOCATED at the NEXUS of Green Hills, Brentwood, Grassland, Franklin! SURROUNDED BY HUNDREDS OF ACRES OF PROTECTED WOODLANDS!!!



NATIONAL WILDLIFE FEDERATION

CERTIFIED WILDLIFE Habitat™

This certificate recognizes the establishment and maintenance of an official wildlife habitat.

Fawn's Wildlife Habitat

No. 161,066

David Mizgajski
David Mizgajski
National Wildlife Federation

I KNOW OF NOTHING WHICH WIFE LOVES MORE THAN ANIMALS OF ALL KINDS!!!

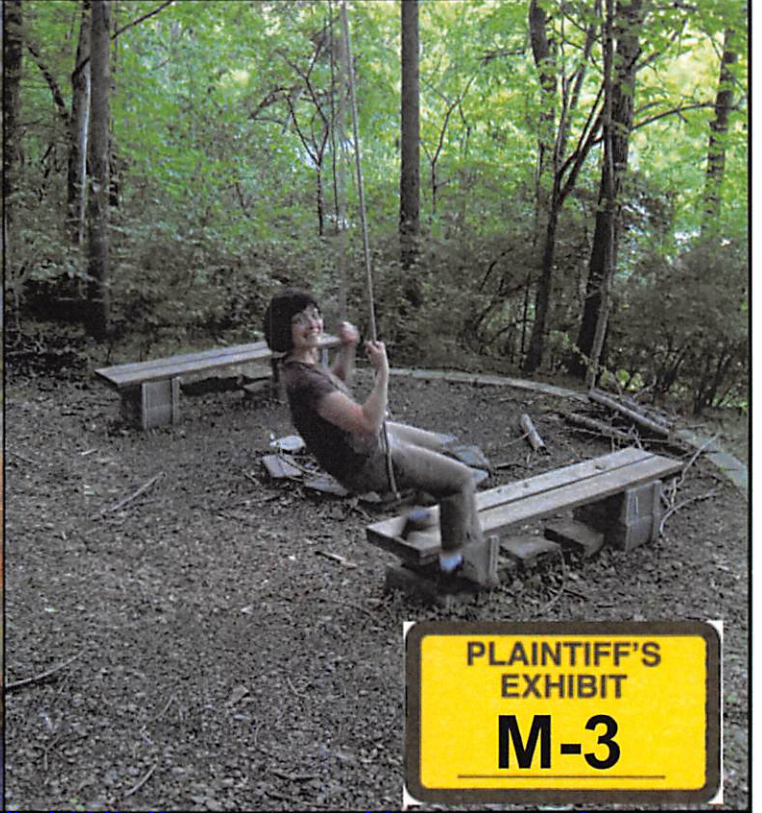
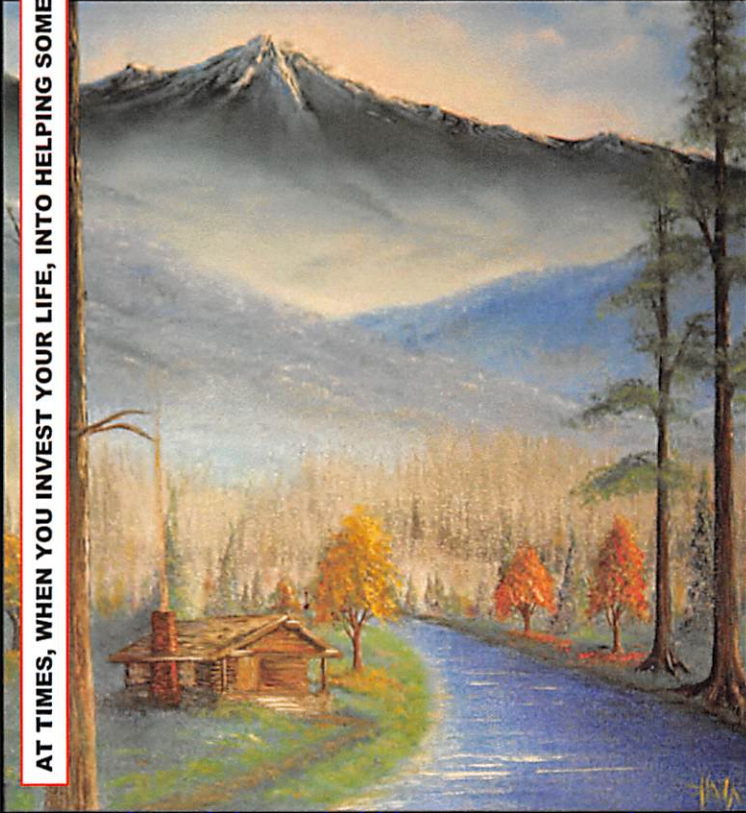
NATIONAL WILDLIFE FEDERATION

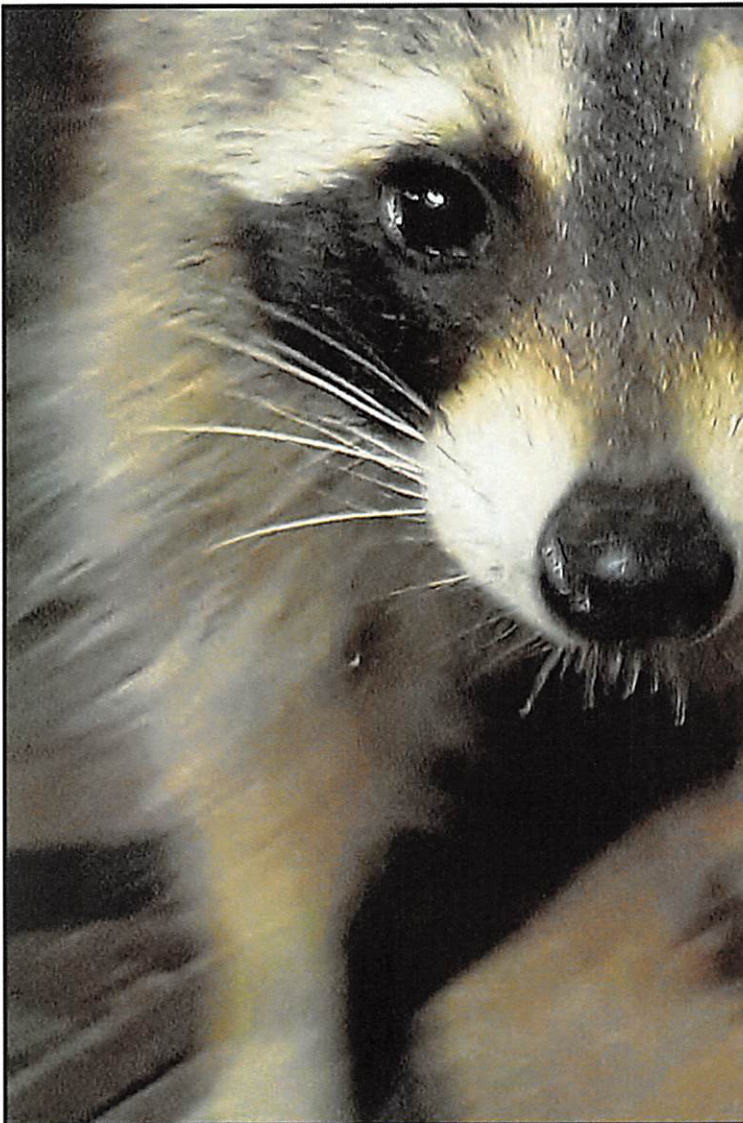






AT TIMES, WHEN YOU INVEST YOUR LIFE, INTO HELPING SOMEONE YOU LOVE, REACH THEIR DREAMS, YOU STILL LACK WHAT THEY NEED THE MOST.





PLAINTIFF'S
EXHIBIT
M-4



I was a LICENSED Real Estate Agent "Affiliate Broker" in the State of Tennessee for SEVENTEEN (17) Years (until long after our divorce), with access to hundreds of millions of dollars worth of inventory, without ever a single complaint or issue of any sort! Everyone who worked with me: clients, lenders, property owners, investors, inspectors, contractors, buyers, both unrepresented and with their agents, co-workers, paralegals and closing attorneys, had only the greatest of respect for me and my work.

Neither my ex-wife nor I know of anyone who gave people more for their money, or worked in their client's best interests, more than I did!

c/o JEFFREY "JEFF" RYAN FENTON
1986 SUNNYSIDE DRIVE
BRENTWOOD, TN 37027



My marketing was second to none, as were my contract skills. My attention to detail and background in both printing, graphic arts, and amateur web design, brought compliments from competing agents who were recognized as the "best" from their firms. I devoted two-weeks (80+ hours) to marketing each and every listing I had, while most agents would never dream of investing that much time. But I listed every house to SELL, and every house I did, for top-dollar with minimal time on the market, except for ONE condo, during my 17-Years.

I quit working as a full-time agent upon the realization that 60% of the business was getting the listing not selling it. While a politician I am not.

Attorney Virginia Lee Story made me out to be a "monster" in Judge Michael W. Binkley's Court, with ZERO history to substantiate ANY of it, just her WORD. She lied repeatedly about matters of Real Estate Law, Binkley never once corrected her or exercised his judicial supervisory DUTY.





QuickFacts

What's New & FAQs

Brentwood city, Tennessee; Williamson County, Tennessee; Genesee County, Michigan; Fenton city, Michigan; Argentine township, Genesee County, Michigan; United States

QuickFacts provides statistics for all states and counties, and for cities and towns with a population of 5,000 or more.

Enter state, county, city, town, or zip code

-- Select a fact --



Table

All Topics

Brentwood city,
TennesseeWilliamson
County,
TennesseeGenesee County,
MichiganFenton city,
MichiganArgentine
township,
Genesee County,
Michigan

United States



Population Estimates, July 1, 2022, (V2022)

NA

NA

NA

NA

NA

333,287,557

PEOPLE

Population

Population Estimates, July 1, 2022, (V2022)

NA

NA

NA

NA

NA

333,287,557

Population Estimates, July 1, 2021, (V2021)

45,491

255,735

404,208

11,989

7,031

332,031,554

Population estimates base, April 1, 2020, (V2022)

NA

NA

NA

NA

NA

331,449,520

Population estimates base, April 1, 2020, (V2021)

45,377

247,726

406,211

12,048

7,076

331,449,520

Population, percent change - April 1, 2020 (estimates base) to July 1, 2022, (V2022)

NA

NA

NA

NA

NA

0.6%

Population, percent change - April 1, 2020 (estimates base) to July 1, 2021, (V2021)

0.3%

3.2%

-0.5%

-0.5%

-0.6%

0.2%

Population, Census, April 1, 2020

45,373

247,726

406,211

12,050

7,091

331,449,281

Population, Census, April 1, 2010

37,060

183,182

425,790

11,756

6,913

308,745,538

Age and Sex

Persons under 5 years, percent

3.7%

5.4%

5.7%

5.8%

3.2%

5.7%

Persons under 18 years, percent

28.8%

26.2%

22.3%

23.2%

18.5%

22.2%

Persons 65 years and over, percent

14.1%

14.1%

18.2%

16.4%

16.9%

16.8%

Female persons, percent

49.1%

50.6%

51.5%

55.6%

47.1%

50.5%

Race and Hispanic Origin

White alone, percent

85.8%

88.0%

75.0%

93.0%

97.2%

75.8%

Black or African American alone, percent (a)

3.1%

4.4%

20.3%

1.6%

0.3%

13.6%

American Indian and Alaska Native alone, percent (a)

0.0%

0.3%

0.6%

0.0%

0.0%

1.3%

Asian alone, percent (a)

7.7%

5.4%

1.1%

0.5%

0.5%

6.1%



All Topics

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Native Hawaiian and Other Pacific Islander alone, percent (a)	0.0%	0.1%	Z	0.0%		
Two or More Races, percent	3.0%	1.9%	3.1%	4.7%		
Hispanic or Latino, percent (b)	3.5%	5.2%	3.9%	5.1%	2.1%	18.9%
White alone, not Hispanic or Latino, percent	83.6%	83.3%	71.8%	89.5%	96.7%	59.3%
Population Characteristics						
Veterans, 2017-2021	1,577	9,735	22,795	703	427	17,431,290
Foreign born persons, percent, 2017-2021	8.6%	7.8%	2.8%	1.7%	2.5%	13.6%
Housing						
Housing units, July 1, 2021, (V2021)	X	94,657	183,563	X	X	142,153,010
Owner-occupied housing unit rate, 2017-2021	90.8%	80.3%	70.5%	61.4%	93.9%	64.6%
Median value of owner-occupied housing units, 2017-2021	\$711,900	\$497,500	\$133,700	\$168,800	\$240,900	\$244,900
Median selected monthly owner costs -with a mortgage, 2017-2021	\$2,986	\$2,306	\$1,272	\$1,364	\$1,648	\$1,697
Median selected monthly owner costs -without a mortgage, 2017-2021	\$766	\$608	\$504	\$583	\$593	\$538
Median gross rent, 2017-2021	\$2,124	\$1,670	\$829	\$1,116	\$880	\$1,163
Building permits, 2021	X	2,980	510	X	X	1,736,982
Families & Living Arrangements						
Households, 2017-2021	14,550	85,311	164,905	5,025	2,657	124,010,992
Persons per household, 2017-2021	3.04	2.84	2.43	2.34	2.63	2.60
Living in same house 1 year ago, percent of persons age 1 year+, 2017-2021	91.2%	86.0%	87.9%	84.4%	92.0%	86.6%
Language other than English spoken at home, percent of persons age 5 years+, 2017-2021	10.1%	8.9%	3.9%	3.0%	2.4%	21.7%
Computer and Internet Use						
Households with a computer, percent, 2017-2021	97.9%	97.7%	90.8%	94.5%	96.9%	93.1%
Households with a broadband Internet subscription, percent, 2017-2021	97.1%	95.0%	83.7%	90.8%	91.8%	87.0%
Education						
High school graduate or higher, percent of persons age 25 years+, 2017-2021	98.3%	95.8%	91.2%	96.7%	95.6%	88.9%
Bachelor's degree or higher, percent of persons age 25 years+, 2017-2021	75.6%	61.9%	22.2%	29.2%	28.1%	33.7%
Health						
With a disability, under age 65 years, percent, 2017-2021	3.0%	4.3%	13.7%	8.8%	9.5%	8.7%
Persons without health insurance, under age 65 years, percent	3.1%	7.1%	6.2%	8.9%	10.0%	9.8%
Economy						
In civilian labor force, total, percent of population age 16 years+, 2017-2021	64.5%	68.4%	57.9%	66.7%	61.9%	63.1%
In civilian labor force, female, percent of population age 16 years+, 2017-2021	56.3%	60.5%	54.3%	59.7%	60.8%	58.7%



All Topics

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Total accommodation and food services sales, 2017 (\$1,000) (c)	192,505	808,891	707,341	75,425		
Total health care and social assistance receipts/revenue, 2017 (\$1,000) (c)	968,503	2,141,352	3,165,657	70,669		
Total transportation and warehousing receipts/revenue, 2017 (\$1,000) (c)	182,711	414,318	457,204	3,356	NA	895,225,411
Total retail sales, 2017 (\$1,000) (c)	1,259,796	4,563,108	8,429,666	574,399	17,170	4,949,601,481
Total retail sales per capita, 2017 (c)	\$29,498	\$20,157	\$20,678	\$50,791	\$2,613	\$15,224

Transportation

Mean travel time to work (minutes), workers age 16 years+, 2017-2021	26.0	27.8	26.6	30.7	38.5	26.8
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Income & Poverty

Median household income (in 2021 dollars), 2017-2021	\$165,948	\$116,492	\$54,052	\$70,745	\$86,239	\$69,021
Per capita income in past 12 months (in 2021 dollars), 2017-2021	\$76,194	\$56,545	\$30,561	\$37,049	\$38,043	\$37,638
Persons in poverty, percent	△ 2.6%	△ 4.0%	△ 16.3%	△ 9.7%	△ 5.8%	△ 11.6%

BUSINESSES**Businesses**

Total employer establishments, 2020	X	7,696	7,528	X	X	8,000,178
Total employment, 2020	X	134,020	119,084	X	X	134,163,349
Total annual payroll, 2020 (\$1,000)	X	9,105,963	5,137,721	X	X	7,564,809,878
Total employment, percent change, 2019-2020	X	1.0%	-1.2%	X	X	0.9%
Total nonemployer establishments, 2019	X	30,877	28,457	X	X	27,104,006
All employer firms, Reference year 2017	1,693	5,634	5,970	511	S	5,744,643
Men-owned employer firms, Reference year 2017	880	3,185	3,738	S	S	3,480,438
Women-owned employer firms, Reference year 2017	310	1,020	1,050	76	S	1,134,549
Minority-owned employer firms, Reference year 2017	169	551	499	S	S	1,014,958
Nonminority-owned employer firms, Reference year 2017	1,167	4,202	4,799	S	S	4,371,152
Veteran-owned employer firms, Reference year 2017	75	284	275	S	S	351,237
Nonveteran-owned employer firms, Reference year 2017	1,254	4,310	4,961	S	S	4,968,606

GEOGRAPHY**Geography**

Population per square mile, 2020	1,103.7	425.0	637.8	1,811.8	204.6	93.8
Population per square mile, 2010	899.9	314.4	668.5	1,760.5	199.5	87.4
Land area in square miles, 2020	41.11	582.86	636.94	6.65	34.66	3,533,038.28
Land area in square miles, 2010	41.18	582.60	636.98	6.68	34.65	3,531,905.43
FIPS Code	4708280	47187	26049	2627760	2604903420	1